

A Preservation Plan for

# The “Placida Bunk House”

for

Charlotte County Parks, Recreation  
and Cultural Resources

Final Report

September 2008

Stevenson Architects Inc.

AAC 002131

## TABLE OF CONTENTS

---

### Acknowledgements

### I. INTRODUCTION & PROJECT OVERVIEW

- Project Scope and Goals of the Preservation Plan
- A Brief Summary of the Development of the Placida Bunk House
- Summary of Statement of Significance

### II. CONDITIONS ASSESSMENT & PRESERVATION GUIDELINES

- Conditions Assessment for the Placida Bunk House (#CH 00417)
  - Character-Defining Features
- Evaluation of Building Conditions and Treatments
- Standards and Guidelines
  - The Secretary of the Interior's Standards for Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating & Restoring Historic Buildings
  - Treatment approach
- Code and Regulatory Requirements
- Existing Conditions drawings

### III. PRESERVATION PLAN DOCUMENTS

- Owners Use Program
- Period of significance
- Project Approach – Stabilization and Restoration Phases
- General Recommendations
- Phase 1: Stabilization:
  - Exterior Features Treatment Recommendations
  - Interior Features Treatment Recommendations
- Phase 2: Restoration:
  - Exterior Features Treatment Recommendations
  - Interior Features Treatment Recommendations
  - Site Work Recommendations
- Ongoing Preservation and Cyclical Maintenance
- Building Materials Recommendations
- Conceptual Design Drawings
- Restoration Budgets
- Conceptual Design drawings
- Conclusion

### IV. APPENDICES

- A. Historical Information and Oral Histories
- B. References & Sources
- C. Paint analysis report



## **ACKNOWLEDGEMENTS**

---

The Preservation Plan for the Placida Bunk House, at the Cape Haze Pioneer Trail Park, was a cooperative effort that benefited from the participation of many individuals. We would like to acknowledge their efforts and thank them for their contributions to the success of this project.

This project was sponsored and partially funded by Charlotte County Government. By acquiring lands for County parks, and collaborating with individuals, organizations and communities, Charlotte County fulfills a vital role in educating the public on responsible stewardship of these precious resources. As creators of the Cape Haze Pioneer Trail, the County has demonstrated its commitment to the protection of this important historic structure in its preservation and relocation to a new life on this site.

Linda Coleman, Division Manager of the Historical Division of County's Department of Parks, Recreation and Cultural Resources, was of great assistance in coordinating site access and providing a liaison with the interested groups and individuals affiliated with the project. David Milligan, Support Services Manager, provided valuable insights on the local regulatory process for planning the restoration project work.

The history of the property came to life for us with the assistance of the previous residents. Bob Goff met the author on site on two occasions and generously shared his memories of living there as a child and as a young man. We also thank Pat Middleton for sharing her photographs and remembrances of the building.

## **I. INTRODUCTION AND PROJECT OVERVIEW**

---

### **Project Scope and Goals of the Preservation Plan**

The scope of this project is to develop a Preservation Plan for the Placida Bunk House (FSF# #CH00417), located within the Cape Haze Pioneer Trail Park, Charlotte County, Florida. In order to develop this plan, the following work was undertaken:

- Review of available archival and historical data
- Record existing conditions of the building
- Identify character-defining features
- Conditions assessment for building features and components
- Review of County's use program for the building
- Review of applicable codes and standards pertaining to this project
- Selection of a treatment approach
- Recommendations for a preservation plan
- Construction budgets and prioritization plan

The format of this Preservation Plan report begins with a brief overview of the development history, construction, and significance of the Bunk House. The Plan records the existing conditions of the structure, establishes the standards for evaluating the building and recommends the work necessary for implementing the preservation plan for the building. This work includes identification of character-defining features, treatment guidelines, and guidelines for ongoing preservation. The written guidelines are reinforced with graphic documents.

### **A Brief Summary of the Development of the Bunk House and its Significance**

The community of Placida had its roots as a fishing camp in the 1870s. A town grew up around it when the American Agricultural Chemical Company built the Charlotte Harbor and Northern Railroad to transport phosphate from its mining interests in the Peace River basin to the deep water harbor of Boca Grand Island. The Placida Bunk House was constructed to serve the Charlotte Harbor & Northern Railroad as housing for the section workers and was typical of the frame vernacular structures of this period.<sup>1</sup>

The building's character defining features include the rectangular plan, a steeply sloped gable roof, 6 over 6 double hung windows, five panel wood doors and board and batten siding. The structure was constructed from locally available materials, such as the highly decay resistant yellow heart pine.



By the 1920s, the structure was occupied by the Futch family, and their memories have been documented in several interviews with family members that were published in the local newspaper in the mid 1990s.<sup>2</sup> The house was also used as a “Meeting House” for prayer services, beginning about 1938 and as a post office. The upper loft area became a school for children.<sup>3</sup>

The Goff family occupied the house from the late 1930s to the 1950s, and we are fortunate to have the memories of those family members to document the changes made to the house during this period.<sup>4</sup>

In the 1950s, the house passed to John Bass and it was during this period that the house was updated with a kitchen and a bathroom, and the interior walls were covered with gypsum board.<sup>5</sup>

Charlotte County acquired the building in 2005, and it was relocated to the new site in the Cape Haze Pioneer Trail Park in 2007.

### **Summary of statement of significance:**

The Placida Bunk House has been listed on the Florida Master Site File, as 8CH00417, form date 8/01/89.<sup>6</sup> The property is a county designated historic structure.

The following text summary is from the application form for the historic marker located at the new site of the Bunk House, and defines the statement of significance.

“The historical Placida Bunk Hose is one of few railroad associated structures left in Charlotte County. Significant for its association with the Charlotte Harbor and Northern Railroad and its successors, the Placid Bunk House is inextricably linked with the history of Placida area and settlement by local families in the 1900s. “

### Endnotes:

---

<sup>1</sup> Text from Charlotte County Historic Marker on site. Florida Site File form, prepared by Historic Property Associates, Inc. 08/01/89.

<sup>2</sup> Diane Harris. Englewood Sun-Herald. Saturday January 14, 1995, “Betty Futch Macguire – growing up at the Crossing”. Charlotte Sun. May 31, 1995. “Betty Futch Macguire remembers the hobos of Placida”.

<sup>3</sup> Manuscript by Gladys Goff “Now they tell me”. Early 1990s. Article in the Sarasota Herald Tribune August 3, 1992.

Lindsay Williams. “Our fascinating past”. December 1, 1996.

---

<sup>4</sup> See notes from interview with Bob Goff, August 27, 2008 by L. Stevenson, in Appendices section of this report.

<sup>5</sup> Notes from Goff interview.

<sup>6</sup> File form, prepared by Historic Property Consultants, Inc. 08/01/89.

## II. CONDITIONS ASSESSMENT & PRESERVATION GUIDELINES

---

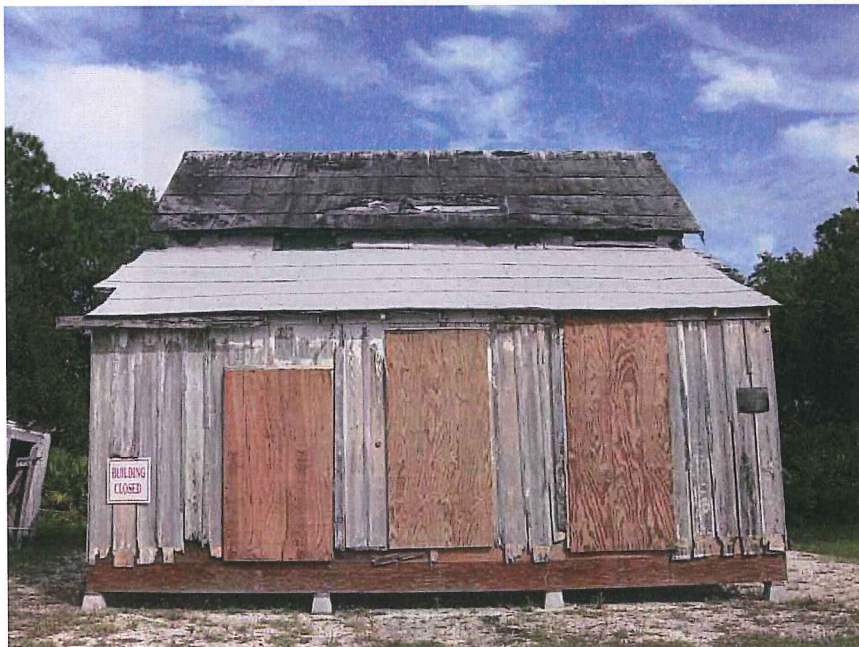
### CONDITIONS ASSESSMENT FOR THE BUNK HOUSE (CH 417)

#### Character Defining Features

The Placida Bunk House is a two-story rectangular building, about 24' wide by 24'-6" long, built in the Frame Vernacular Style, with the exterior board and batten siding on balloon frame wood construction as its most distinctive characteristic.

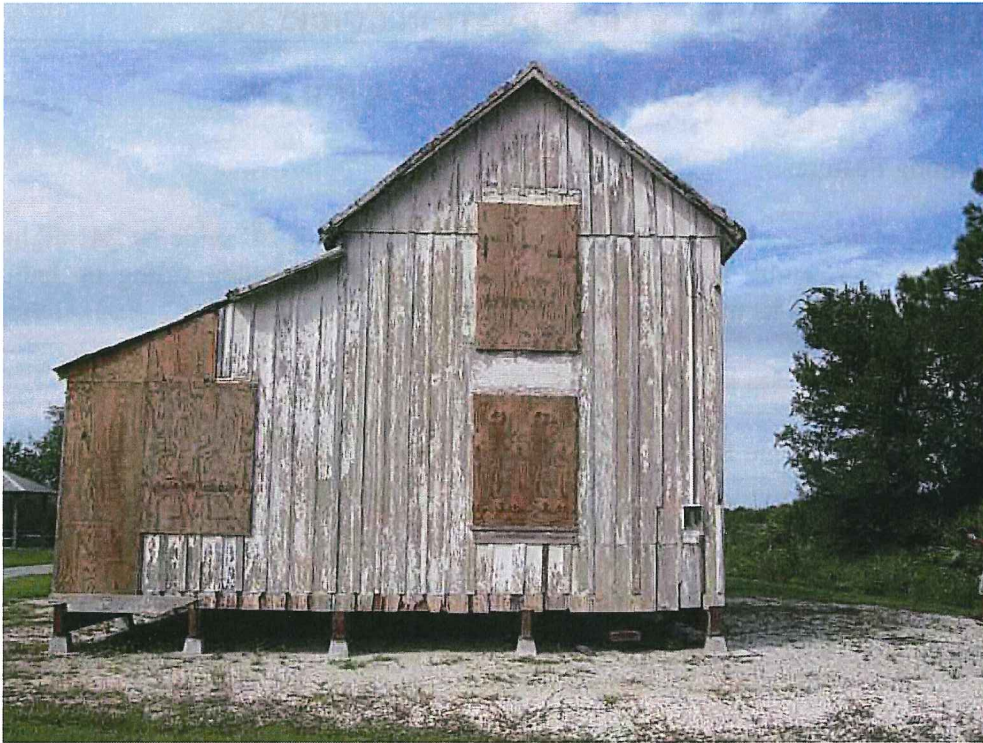
The character defining features include:

- Simple rectangular plan form
- Constructed with balloon wood frame walls
- Use of locally available materials, heart pine interior tongue and groove wall cladding on one interior wall, balance of interior has exposed wall and ceiling structure and wood tongue and groove flooring
- Rectangular wood casings at double hung windows and door openings
- Wide overhanging eaves
- Gable ends, steep pitch to main roof



Facades: South Elevation (Front of house)

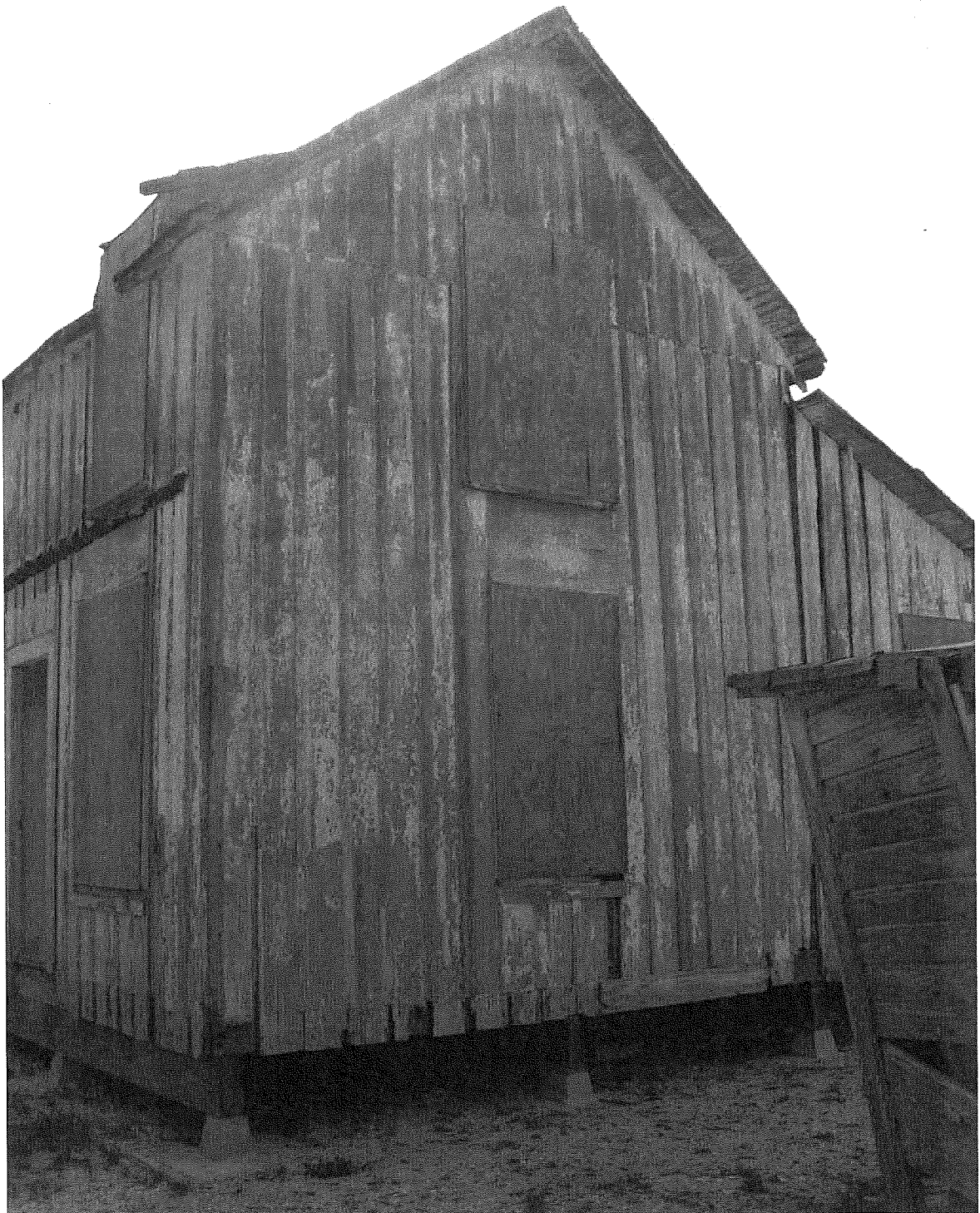




Facades: East Elevation



Facade: North Elevation



Façade: West Elevation with outhouse in foreground



## Evaluation of Building Conditions and Treatments

### Site surroundings:

Description: The building is set back approximately 20 feet from the Park's paved access to the bicycle trail and is surrounded by a stretch of vegetation to the north, offering some protection from the suburban development. The structure is surrounded by an eight foot wide band of crushed shell aggregate.

Condition: The site is well maintained and the building has been secured.

### Exterior Materials

#### Roofing:

Description: The upper section of the roof is covered with black asphalt roll roofing, applied over an earlier layer of a green asphalted roll material. Underneath these materials are what appears to be wood shingles nailed down to the tongue and groove roof deck. The earliest roof material may have been wood shingles or metal sheet roofing.

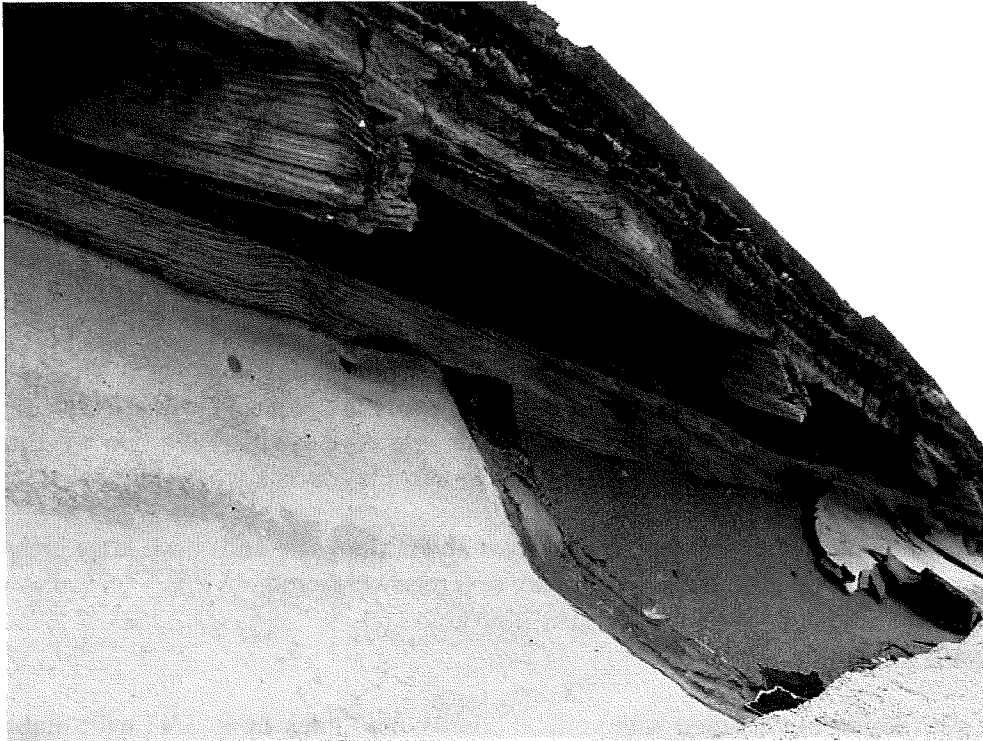
The lower roof membrane is a lighter grey on a layer of modern plywood over earlier roll roofing layers that are applied to the ¾" by 6" wood tongue and groove roof deck.

Condition: The roof covering is in severely deteriorated condition.



South west corner, deteriorated roof deck after roof patch in place. Some rafter ends require repairs, gutters missing from fascia.





Detail of upper roof layers



Detail of the lower roof layers, on top of modern plywood layer, remnant of the fascia board nailed to ends of rafters

#### Rafters, exposed and fascia remnants:

Description: The 2 x 4 rafters are exposed from below on the exterior along most of the eave edges. It appears that these rafter ends were covered with fascia boards for most of the building's life. These fascia supported metal gutters that led to a wood water tank (cistern).

Condition: There is extensive damage and rot in many of the rafter ends, where the roof covering has deteriorated. The fascia remnants are badly damaged.

#### Roof deck sheathing, exposed at eaves:

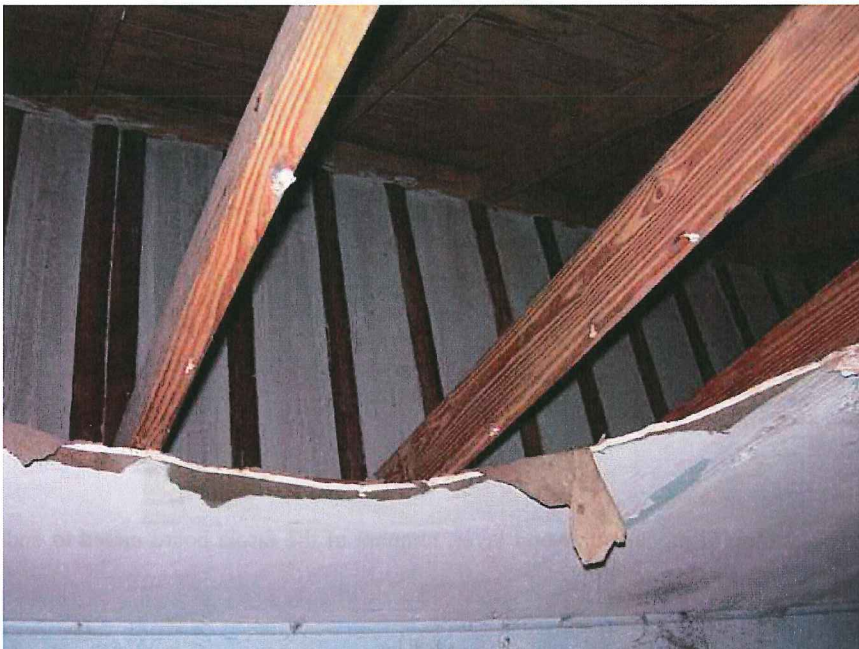
Description: The 3/4" by 6" wood tongue and groove boards are exposed at the underside of the eaves and the gable end roof overhang. The gable end eave boards have two weathered paint coatings, the earliest is a yellow color, and the topmost layers is a white pigment.

Condition: The sections of the roof deck at the eaves and at the gable ends have large areas of rotted and damaged boards. The paint coatings are severely weathered.

#### Cladding: Board and batten siding

Description: All facades are covered with vertical boards, 3/4" thick by 9 -3/4" wide and two distinct styles of battens. The earlier battens are 3/4" x 3-3/4" wide with beveled edges. Some replacement battens are 3/4" by 3" nominal square sections. The batten strips were originally placed over both the exterior and interior face of the boards.

Condition: Some of the original beveled battens have been replaced with the square battens. The battens were removed from the south face of the original two story wall section, some battens on the interior face remain in several locations.



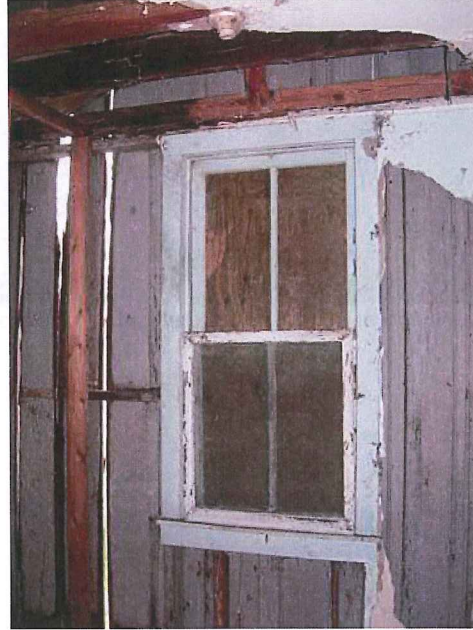
South wall of two-story section, battens were removed for addition

### Windows:

Description: The existing windows are typically 6 over 6 double hung sash set in wood frames with square casings. The west wall features two sash with 2 over 2 lites. The western most window on the south wall was a small lite with 6 panes, and has been altered with the addition of a 2 over 2 lower section.



East window typical 6 over 6



West window 2/2 design

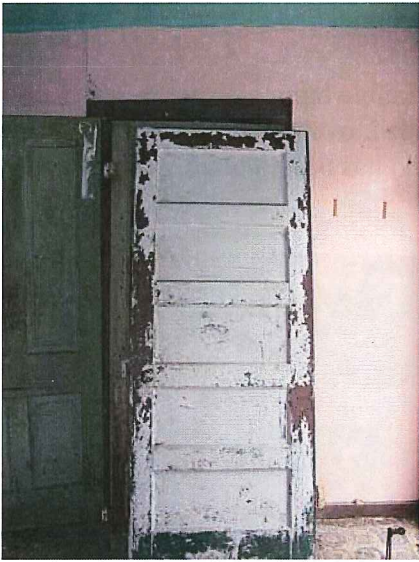
Condition: The windows are overall in poor condition and will need extensive restoration.

### Exterior Doors:

Description: The exterior stile and rail five recessed panel wood doors are in place (north door east side is stored in the interior. Surface mounted rim locks and original hinges remain.

Condition: The doors are salvageable and reusable. The hardware should be salvaged for possible repairs.





Interior view of north (rear) door on east end



Interior view of north door, west end



Interior view of south (front) door



Interior plank door in northwest room

### Interior Components:

#### Plan Organization:

The floor plan consists of a two story section that dates from the earliest period of construction. The building had a front room added early in its history. A rear porch and bathroom were added after the mid 1950s. This 8 foot by 20 foot addition was removed after the building was relocated in 2007.

See Drawings XA- 1.01 for plan layout as it exists today, and drawing A-100 for a conjectural floor plan as it evolved over the building's history.

### Interior Spaces and Finishes:

#### Northeast Room:

##### Floor:

Several layers of sheet flooring have been applied over the original wood tongue and groove floor. The flooring is in poor condition.



Southeast corner with modern closet. Note the exposed section of vertical board finish on the south side of the wall.





Northeast corner



Northeast corner after removal of gypsum board

#### Walls and ceiling:

The walls and ceiling are covered with a thin layer of paper faced gypsum board, that is painted. This material was added after the mid 1950s. The wallboard material is in poor condition.

#### Casings and interior trim:

The wood 1 x 4 casings were removed and replaced over the wallboard, according to one of the former residents of the building. The base consists of the same 1 x 4 material. There is a wood trim piece at the wall to ceiling joint. All of the woodwork has been painted.

#### Northwest Room:

##### Floor:



Door found inside building

Several layers of sheet flooring have been applied over the original wood tongue and groove floor. The flooring is in poor condition.

#### Walls and ceiling:

The walls and ceiling are covered with a thin layer of paper faced gypsum board, that is painted. This material was added after the mid 1950s. The wallboard material is in poor condition.



### Casings and interior trim:

The wood 1 x 4 casings were removed and replaced over the wallboard, according to one of the former residents of the building. The base consists of the same 1 x 4 material. There is a wood trim piece at the wall to ceiling joint. All of the woodwork has been painted.

### Woodwork, built-ins

Description: This room contains a post 1950s set of cabinets, sink and countertop when the space was converted to a kitchen.

Condition: The built-ins are in poor condition overall, and should be documented before removal.



Northwest corner

South room: Originally one room, the dividing wall was added after the 1950s.

### Floor:

This space has wood flooring in very poor condition. The wood floor in the west room was replaced. There was an area in front of the door to the northeast room where the boards could be removed to sweep out dust. This feature is no longer present.

### Walls and ceiling:

The walls and ceiling are covered with a thin layer of paper faced gypsum board, that is painted. This material was added after the mid 1950s. The wallboard material is in poor condition.

### Casings and interior trim:

The wood 1 x 4 casings were removed and replaced over the wallboard, according to one of the former residents of the building. The base consists of the same 1 x 4 material. There is a wood trim piece at the wall to ceiling joint. All of the woodwork has been painted.



East wall of south room with wallboard removed



West wall



Ceiling framing and roof rafters



## Stairs

The stair opening has wood casings, and a small landing is located at two risers above the first floor level. An opening was located on the west side onto this landing in the 1940s, this has been enclosed with gypsum wallboard. The east wall is clad with heart pine beaded board.



View up the stairs



Knee wall at top of stairs

## Loft area:

Originally one space, the loft was divided into two areas after the 1950s.



East room of Loft



West room of Loft

## Floor:

This space has wood flooring in fair condition.

## Walls and ceiling:

The walls and ceiling are covered with a thin layer of plywood, that is painted. This material was added after the mid 1950s. The material is in poor condition.



### Casings and interior trim:

The wood 1 x 4 casings were removed and replaced over the plywood, according to one of the former residents of the building. The base consists of the same 1 x 4 material. All of the woodwork has been painted.

The wood beadboard was applied to the east wall of the stair and is original material. There are flat wood tongue and groove boards above this level, covered with a thin sheet of plywood.

### **Structural System:**

#### Framing system, general:

The building framing features traditional balloon framed stud walls with notched in ledgers. Joists are notched over the ledgers, and rafters are notched over the wall top plates. This interlocking system has proven its longevity and allows the structure to effectively resist lateral load forces, such as high winds. The original framing members were milled from old-growth yellow heart pine found in the region. This wood has significant structural load capacities, density and is quite resistant to decay and insects.

#### Structural: Roof framing at upper roof:

Description: The roof framing consists of full 2 x 4 rafters at 24" on center that are notched onto a wood top plate capping the wood stud walls. There is no ridge beam or bracing. Rough sawn 2 x 6 collar ties about 42 inches below the ridge line are nailed into the rafter sides. The tongue and groove roof deck is in generally good condition on the interior face.

Condition: The rafters are in good condition on the interior, but some exterior rafter ends exhibit significant decay.



Attic rafters and collar ties

Structural: Roof framing at lower roof:

Description: The roof framing consists of full 2 x 4 rafters at 24" on center that are notched onto a wood top plate capping the wood stud walls.

Condition: The rafters are in good condition on the interior, but some exterior rafter ends exhibit significant decay.



Roof rafters at shed roof section with later ceiling joists and tongue and groove roof deck

First floor ceiling joists:

Description: The 2 x 4 nominal joists were added after the 1950s, when the interiors were covered with gypsum board.

Condition: The joists are in fair condition.

Second floor framing:

Description: The roof framing consists of full 2 x 8 rafters at 24" on center.

Condition: The joists are in good condition on the interior, but some exterior bearing ends exhibit significant decay.





Second floor joists, north wall, notched over ledger which is notched into the studs. Note stud to right of opening was cut off.

#### Wall framing, two story walls:

Description: The walls are balloon framed with 2 x 4 wood studs at varying centers. It appears that the original framing had a stud on each side of an opening and others at between 36 to 40 inch spacing.

Condition: The two story wall framing has been altered on both the north and south walls. A number of the studs have been cut at the first floor windows. A few studs are missing entirely and others have been damaged by rot and insects. The exterior wall boards were applied vertically and appear to bridge the span between horizontal framing members.

#### Wall framing, one story walls:

Description: The walls of the single story section are framed with 2 x 4s with a single top plate and bottom plate.

Condition: The walls on the one story section are damaged and the entire northeast corner framing is missing underneath the siding.



#### First floor framing:

Description: 1-7/8" x 8" floor joists at 24" on center frame the floor. The original floor beams have been replaced as part of the building relocation project from 2007.

Condition: The joists are generally in good condition and have been connected to the new floor beams with metal connectors. Some joists have cracks and damage and need to be repaired or reinforced with new pressure treated "sistered" joists (several perimeter joists were replaced with new pressure treated 2 x 8s).



Floor joists on new foundation system with galvanized connectors

#### Foundations and floor beams:

##### Description:

When the building was relocated, a new concrete footing and precast concrete pedestal system was constructed with new parallel beams supporting the floor joists.

Condition: Foundations and floor beams appear to be performing adequately.

#### **Building Systems:**

##### Mechanical:

Description: There is no mechanical heating, cooling or ventilation system in this building.

##### Electrical:

Description: The original electricity was installed in 1950, with the original service fuse box without a cover still in place on the east façade. The interior electrical system consisted of six

surface mounted lights and two outlets, all of which are in place. Additional outlets were added after the later 1950s. The electrical system is not functional.



East wall with fuse box

#### Plumbing:

Description: There was no internal plumbing until the addition of a faucet in the front room that was fed by the water tank. The kitchen sink dates from a much later renovation and the addition housing the modern bathroom was removed from the structure after its relocation in 2007.

#### Outbuildings:

Outhouse: the wood outhouse structure has been relocated to the site, on the west side of the building. About 50 inches square, this small structure is constructed from 2" x 4" studs at corners, with diagonal set-in bracing and is clad with 5 1/2" wide novelty siding. The structure is in poor condition and requires extensive reconstruction.



Outhouse south side



East side



North side



## Standards and Guidelines:

### The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings

The Preservation Plan for the Bunk House has been developed in accordance with The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings

## Treatment Approach

**Preservation** is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

The proposed treatment is a **Preservation** treatment that is based on physical evidence still extant in the building. The period of significance will include the elements that were extant before the late 1940s.

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

The building will be used as an educational and interpretive tool to present early Florida history and the influence of the railroads on the development of south-west Florida.

2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

See descriptions in the next section for recommended treatments of historic materials. The original design of the building, layouts, features, spaces and spatial relationships will be retained and preserved.

3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The building will reflect the period of interpretation from 1907 through the mid 1950s.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.



The building's distinctive materials, features, finishes and construction techniques that characterize the property will be preserved.

6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The selection of chemical or physical treatments is based on the retention of original historic fabric and the selection of processes that do not damage or alter the appearance of the materials.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken

The building has been relocated to a new site, which is within the Cape Haze Pioneer Trail Park. Any site work will be monitored as necessary.

### **Codes and Regulatory Requirements**

In addition to the guidelines and recommendations for the stabilization work that is required to preserve the historic buildings, the facilities that are open to the public will require design solutions to meet current regulatory criteria and the Owner's Use Program for the site.

The Florida Building Code 2004 editions with 2005, 2006 and 2007 supplements  
At the time of this report, this code edition is in effect until scheduled adoption of an updated code, currently projected for March 2009.<sup>i</sup>

The Florida Building Code (FBC) in Chapter 34, Existing Structures, directs the user to comply with the provisions in the Florida Existing Building Code, for alterations, additions, changes in occupancy and repairs. The Florida Existing Building Code (FEBC) addresses specific provisions for historic buildings in Chapter 10.

Section 1003 acknowledges the goal of the code is "to minimize damage to and loss of historic structures, their unique characteristics and their contents" and goes on to list 6 objectives that reference the Secretary of the Interior Standards for Rehabilitation (Appendix B of FEBC 2004 ed.).

Section 1005 addresses Compliance with the code objectives and allows for compliance alternative based provisions or performance based provisions for historic structures. This provision allows for greater flexibility in the preservation of the character defining features of the buildings. This chapter also allows for three methods of achieving compliance with life-safety provisions of the codes; these are:

- 1) Prescriptive-based provisions of the Code
- 2) Compliance alternative-based provisions of the Code
- 3) Performance-based provisions of NFPA 914, Code for Fire Protection of Historic Structures, Chapter 6, along with a structural evaluation as specified in Section 1201.4.1 of the FEBC.<sup>ii</sup>

The proposed construction work must be classified according to the level of intervention required for the historic building. The simplest level of work is a Repair; this includes the patching or restoration of materials elements, equipments of fixtures for the purpose of maintaining these features in good or sound condition. There are three levels of alterations. Level 1 cover the removal and replacement of existing with new materials that essentially serve the same purpose as the original, such as the replacement of a roof covering material. This is the Level that applies for the “Bunk House” project.

Level 2 alterations including the reconfiguration of space, adding or eliminating a door or window, reconfiguring building systems and the installation of additional equipment.

Level 3 alterations apply when the work area exceeds 50% of the total area of the building and the work is within any 12-month period. (Neither of these levels is applicable for this project).

#### Wind loads:

Where structural alterations meet the definition of “limited structural alterations”, the valuation and analysis shall demonstrate that the altered building or structure complies with codes applicable at the time the building was constructed.<sup>iii</sup> However, where anchorage can be accomplished without damage to historic fabric, it is recommended that additional anchorage be provided.

#### ADA - Americans with Disabilities Act & the Florida Accessibility Code (FBC Chapter 11)

The proposed use of the building is intended for "public accommodation" and needs to address accessibility requirements. As the building is eligible for listing on the National Register of Historic Places, certain alternative minimum accessibility standards may be applied.<sup>iv</sup> Coordination through the State Historic Preservation Officer (Bureau of Historic Preservation, Division of Historical Resources, Department of State) is crucial to determine if alternative minimum standards may be applied. Examples of these standards are:

- *Only one accessible route from a site access point to an accessible entrance must be provided.*  
An accessible parking space is located in the parking lot and a stabilized path should be provided to the building.
- *Only one accessible public entrance must be provided and only the publicly used spaces on the level of accessible entrance must be accessible.*  
Public access for interpretive purposes is planned through one exterior opening on the north side which will be widened for this purpose; the balance of the space is accessible as is. The second floor will not be part of the interpretive presentation of the structure, and no uses are planned for this space.
- *If toilets are provided within the structure, only one accessible unisex toilet facility must be provided along an accessible route.*  
Accessible restrooms are provided elsewhere on site.

- *Displays and written information should be located where visible by a seated person.*

For example, programs, such as museum and display type features, could be experienced by audio-visual programs in an accessible area, if providing access to the actual activity is too costly and damaging to the historic character of the facility.

## **EXISTING CONDITIONS DRAWINGS**

XA101	Existing Site Plan, Floor Plan, Schedules and Roof Plan
XA201	Existing Elevations and Building Sections
XA301	Existing Wall Sections
XS101	Existing Roof and Floor framing

### **Please see Chapter III for Preservation Plan Recommendations.**

---

<sup>i</sup> <http://www.floridabuilding.org/BCISOld/bc/default.asp>. Accessed 30 Jan 2008. The website projects the adoption of the 2007 edition of the Florida Building Code as effective March 2009.

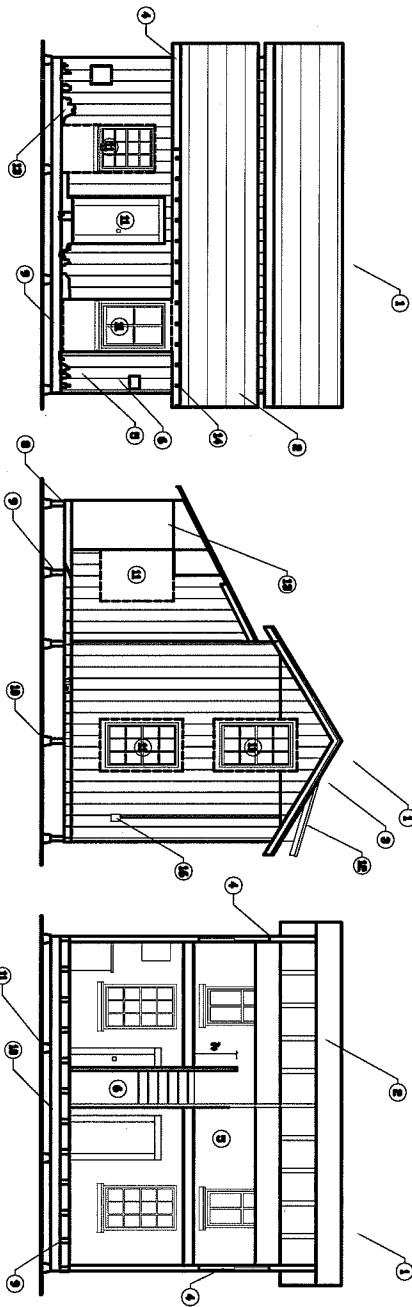
<sup>ii</sup> FEBC, Section 1005 Compliance, 2004 ed. with amendments

<sup>iii</sup> FEBC, current edition, 707.5.2.

<sup>iv</sup> Florida Building Code 2004 ed., section 11-4.1.7 (b) Definition (iii) Designated as historic under an appropriate state or local law.



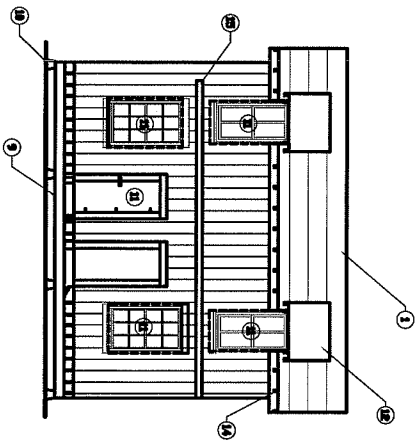




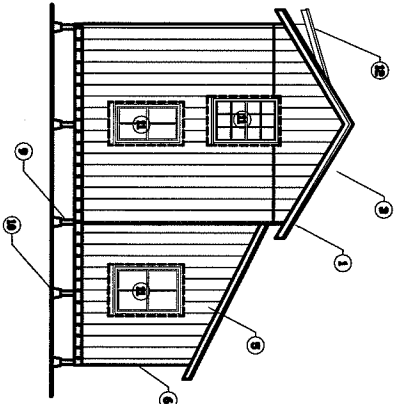
EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1' - 0"

EXISTING EAST ELEVATION  
SCALE: 1/4" = 1' - 0"

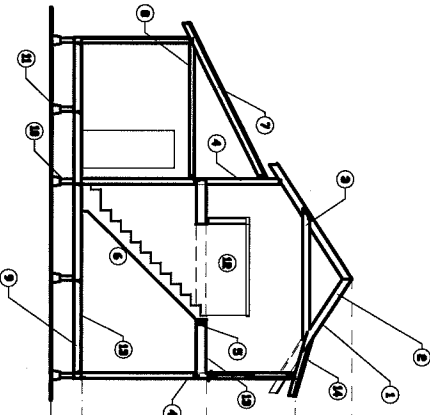
SECTION B-B  
SCALE: 1/4" = 1' - 0"



EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1' - 0"



EXISTING WEST ELEVATION  
SCALE: 1/4" = 1' - 0"



SECTION A-A  
SCALE: 1/4" = 1' - 0"

- ELEVATION KEY NOTES**
1. ROLL ROOFING - SEVERAL LAYER
  2. ROLL ROOFING - SEVERAL LAYER
  3. 2" X 4 END WATTLE POLE CONSTRUCTION
  4. REMAINING SECTION OF 2" X 4 FASCIA
  5. REMAINING SECTION OF 2" X 4 FASCIA
  6. VARIOUS WATTLE STRIPS TYPE 1
  7. VARIOUS WATTLE STRIPS TYPE 2
  8. VARIOUS WATTLE STRIPS TYPE 3
  9. VARIOUS WATTLE STRIPS TYPE 4
  10. VARIOUS WATTLE STRIPS TYPE 5
  11. VARIOUS WATTLE STRIPS TYPE 6
  12. VARIOUS WATTLE STRIPS TYPE 7
  13. VARIOUS WATTLE STRIPS TYPE 8
  14. VARIOUS WATTLE STRIPS TYPE 9
- SECTION KEY NOTES**
1. LAYERS OF ROLL ROOFING OVER EXISTING
  2. ROLL ROOFING - SEVERAL LAYER
  3. ROLL ROOFING - SEVERAL LAYER
  4. EXISTING 2" X 4 STUD WATTLE FRAME WALLS
  5. EXISTING 2" X 4 STUD WATTLE FRAME WALLS
  6. EXISTING 2" X 4 STUD WATTLE FRAME WALLS
  7. LOWER ROOF WATTLE, 2" X 4
  8. LOWER ROOF WATTLE, 2" X 4
  9. LOWER ROOF WATTLE, 2" X 4
  10. LOWER ROOF WATTLE, 2" X 4
  11. LOWER ROOF WATTLE, 2" X 4
  12. LOWER ROOF WATTLE, 2" X 4
  13. LOWER ROOF WATTLE, 2" X 4
  14. LOWER ROOF WATTLE, 2" X 4

# ELEVATIONS



PROJECT NAME  
XAZ.01

DRAWING DATE  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

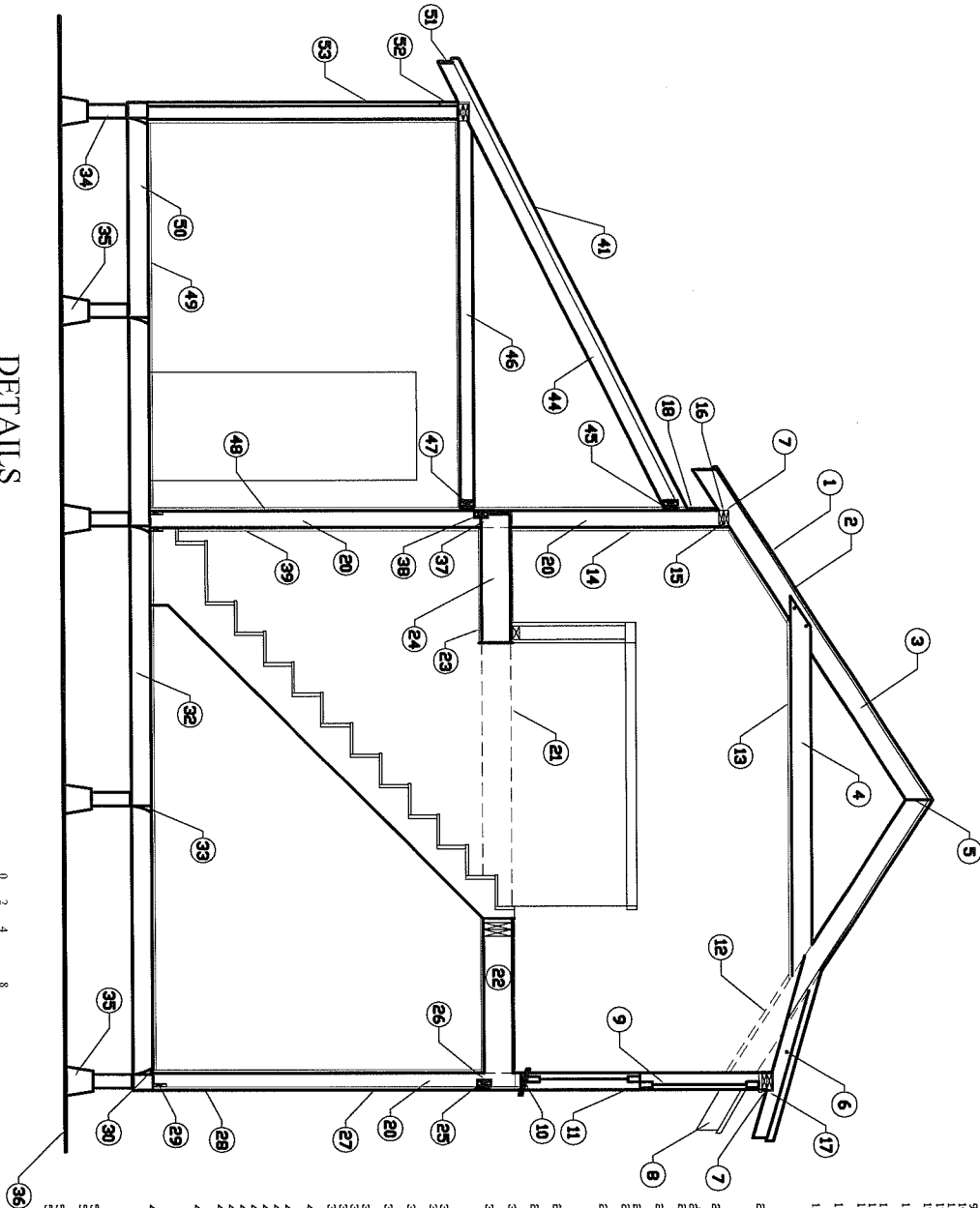
PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

PROJECT LOCATION  
09/04/08

# DETAILS

SCALE: 1/4" = 1' - 0"



## KEYNOTES FOR WALL SECTION

1. 2 LAYERS ROLL ROOFING
2. 1/2" GYP. BOARD
3. R.S. 2" X 4" RAFTERS @ APPROX. 24" OC
4. R.S. 2" X 6" CEILING JOISTS TIE-WALLED AT SIDE OF EA. RAFTER
5. 1/2" GYP. BOARD
6. R.S. 2" X 4" RAFTERS FRAME OUT DORMER WINDOWS
7. R.S. 1" X 6" CLOSURE BOARD AT RAFTERS
8. RIDE RAFTERS BEYOND WINDOW IN VOID FRAME
9. VOID STILL HANG 1/4" WINDOW IN VOID FRAME
10. 1" X 4" WOOD CASING BEYOND
11. LINE OF ROOFERS AND CEILING
12. 1/2" GYP. BOARD, PTL. FINISH, POST DATING PERIOD OF SIGNIFICANCE
13. 1/4" PLYWOOD ON WALLS, PTL. FINISH, POST DATING PERIOD OF SIGNIFICANCE
14. 3/4" TYP. WALL PLATE
15. RAFTER OVERHANG
16. 3" X 4" TOP PLATE AT DORMER FRAMING, VERT. WALL BOARD ON
17. 3" X 4" TOP PLATE AT DORMER FRAMING, VERT. WALL BOARD ON
18. ROLL ROOFING LAPPED UP BETWEEN LOWER ROOF AND UPPER ROOF
19. RAFTERS X APPROX. 55" VERT. WALL BOARD NAILED TO WALL
20. APPROX. 36" DC ORIGINALLY STUDS HAVE BEEN CUT OFF AT HEIGHT OF THE EXTERIOR OF THE SOUTH WALL IN THE TWO STORY
21. APPROX. 36" DC ORIGINALLY STUDS HAVE BEEN CUT OFF AT HEIGHT OF THE EXTERIOR OF THE SOUTH WALL IN THE TWO STORY
22. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
23. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
24. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
25. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
26. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
27. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
28. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
29. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
30. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
31. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
32. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
33. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
34. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
35. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
36. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
37. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
38. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
39. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
40. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
41. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
42. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
43. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
44. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
45. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
46. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
47. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
48. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
49. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
50. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
51. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
52. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR
53. 3/4" WOOD T & G PINE FLOORING, NO APPLIED FINISH ON SECOND FLOOR

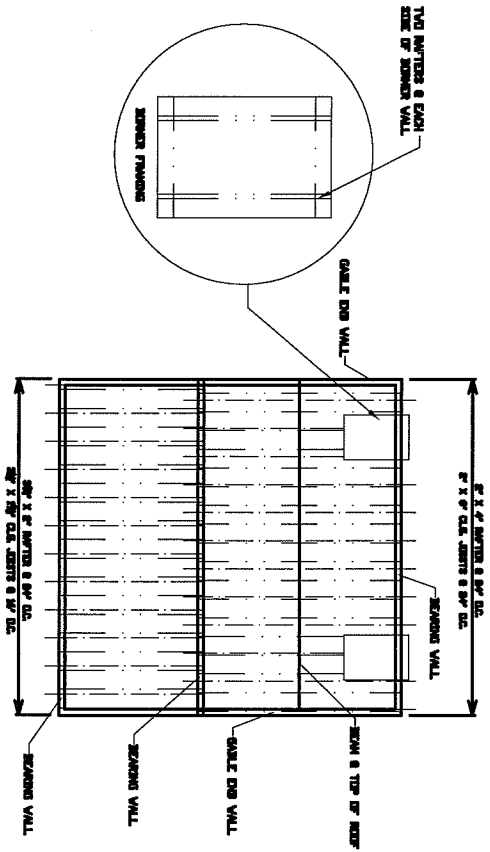
REHABILITATION PROJECT FOR THE  
**PLACIDA BUNK HOUSE**  
AT CAPE HAZE PIONEER TRAIL PARK  
CHARLOTTE COUNTY, FLORIDA

EXISTING  
SECTION

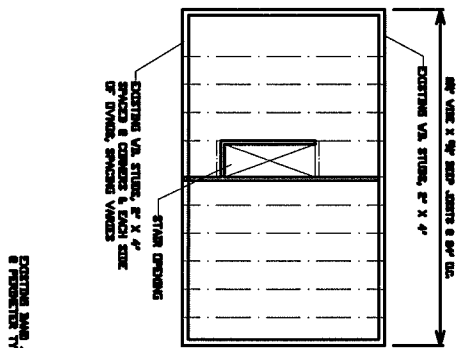
X3.01

09/04/08

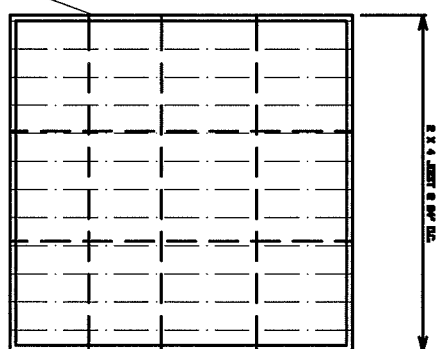




**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1' - 0"



**SECOND FLOOR FRAMING**  
SCALE: 1/4" = 1' - 0"



**FIRST FLOOR FRAMING**  
SCALE: 1/4" = 1' - 0"

**FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1' - 0"



**ARCHITECTURE**  
STEVENSON  
ARCHITECTS  
4112 12th Avenue SE  
BIRMINGHAM, AL 35205  
205.944.0001  
www.stevenson-architects.com

**PROJECT**  
07-002

**DATE**  
09/04/08

**PROJECT**  
REHABILITATION PROJECT FOR THE  
**PLACIDA BUNK HOUSE**  
AT CAPE HAZE PIONEER TRAIL PARK  
CHARLOTTE COUNTY, FLORIDA

**PROJECT**  
07-002

**DATE**  
09/04/08

**PROJECT**  
REHABILITATION PROJECT FOR THE  
**PLACIDA BUNK HOUSE**  
AT CAPE HAZE PIONEER TRAIL PARK  
CHARLOTTE COUNTY, FLORIDA

### **III. PRESERVATION PLAN DOCUMENTS**

---

#### **Owner's Use Program**

The "Placida Bunk House" will be preserved and restored in its location at the Cape Haze Pioneer Trail north trailhead park. The building is an artifact that will be used to interpret several important themes of Florida history. These themes include:

- The importance of the railroads in the development of southwest Florida in this example of a utilitarian structure built for the railroad
- Typical architectural and construction features of the Florida frame vernacular style
- The association of the building with several of the founding local families that settled the McCall – Placida area

#### **Period of significance**

The period of significance will encompass the early period of the building as a railroad accessory structure (c. 1907 – 1920s) and as an early family residence from the (1920s to mid 1950s) and include the restoration of the exterior and preservation of the interior features that date prior to the mid 1950s. The preservation plan can be implemented in a prioritized manner over time.

#### **Project Approach – Stabilization and Restoration Phases**

Based on the Conditions Assessment report in chapter II, the project approach will encompass two phases of work. First, the building will be stabilized and protected while funding for the second phase, the restoration project, is sought. The restoration plan can be implemented in a prioritized manner over time.

##### Phase 1: Stabilization work:

The building will be stabilized and preserved in place, with the work focusing on the following items:

- Roof repairs, in order to provide weather-tight integrity to the interior
- Security measures to protect the interior
- Materials conservation measures to maintain weather-tight integrity of the structure, and to arrest the deterioration of the exterior wood materials.
- Structural stabilization work to stabilize the wood balloon frame walls and roof prior to restoration.

##### Phase 2: Restoration work:

The restoration plan includes the following work;

- Roof replacement with appropriate materials to maintain the historic integrity of the building, including restoration of wood roof deck and structural roof framing.



- Structural repairs to wood balloon framed wall construction and completion of structural load path connections through the wood framing members
- Restoration of the weather-tight integrity of the buildings materials, treatment of wood components
- Selective demolition of features that post date the period of significance
- Accessible stabilized path and new access ramp and deck to the building
- Visual presentation of the interior, treatment of the interior woodwork
- Restore interior features
- Electrical system work adjacent to and within the building, restore existing light fixtures and provide new site lighting fixtures

### **General Recommendations**

- This building is architecturally and historically significant, with the character defining features intact and viable for preservation and restoration. The sensitive treatment of the buildings and site can preserve character-defining features within preservation guidelines
- Provision of compatible function within the historic structure
  - Protection of historic building from hazardous and flammable elements
  - Limit public access to the first floor of the building
  - Interpretation of the building can be presented to the public through the experience of the architecture, craftsmanship and function of the building and the site
- New facilities are available on site for some functions not compatible with historic structures
  - Accessible restroom facility is located on site
  - New paths to connect the building to the site access points
- Infrastructure upgrades
  - Discrete update of electrical wiring
  - Return all windows to operable condition
- Building master plan based on this study should be implemented with
  - Prioritized work plans
  - Scheduled cyclical observation, maintenance and treatments
  - Long-term use goals

### **Security**

The fire protection and security procedures should be reviewed with the perspective of preserving the historic building, as well as the building users. Maintain a hand held fire extinguisher on the premises at all times.

### Archives

The collection of architectural elements and other artifacts for the building should be stored in a special area designed for this purpose, that may be located on site or in another County facility that meets these criteria. This area should be treated periodically for insects. This should include an area for storage of building related documents to aid in ongoing preservation projects. Digital copies should be archived and copied to an external storage when possible.

Certain original building elements and other artifacts have been removed over time. These elements should be identified, catalogued, and reused where possible.

### **Phase 1: Stabilization:**

#### **Exterior Features Treatment Recommendations:**

##### Roof covering:

- Remove existing roof membrane over damaged areas and inspect existing roof deck, particularly at eaves. Replace damaged boards with new tongue and groove boards, pressure treated kiln dried heart pine.
- Replace damaged roof rafters with pressure treated southern yellow pine, cut to match dimensions, sizes and profiles of the original rafters.
- Apply new bituminous membrane roofing system over the entire roof. Apply new dark bronze aluminum drip edge metal along eaves and raking gables. This will serve as a stable, temporary cover until the building can be fully restored.

##### Windows and doors:

- Secure plywood panels over all window and door openings to maintain security for the interior.

##### Wood structural frame, exposed to exterior:

- Treat wood to reduce deterioration due to water penetration and fungal decay.
- Provide additional shoring and bracing to stabilize the balloon frame structure until restoration funds are available.

### **Stabilization: Interior Features Treatment Recommendations:**

- Complete selective demolition of interior modern finishes, remove debris. Salvage any historic building components found within; window and doors, hardware and other artifacts, and catalog for reuse in the restoration work.

### **Phase 2: Restoration:**

#### **Restoration: Exterior Features Treatment Recommendations:**

##### Exterior wall construction:

- Inspect interior for water intrusion and deterioration of materials.
  - Consolidate small areas of damage to wood framing with wood epoxy materials
  - Treat wood with boron preservative treatment and water repellent on exposed areas
  - Restore the paint coating to the wood structural components of the building, matching the first layer of paint from the period of significance. (Whitewash finish).

##### Roof covering:

- Remove existing roof membrane and inspect existing roof deck, make necessary repairs along with structural repairs to roof framing.
- Provide new metal roof system, installed per the manufacturer's specifications, see this chapter for outline specifications.
- Provide for new roof edge flashing, compatible with the roofing system.

##### Windows and doors:

- Windows will require major restoration and major reconstruction
  - Remove the sash from the frames
  - Make structural repairs to the wall framing as described in the section on framing repairs
  - Remove existing glazing and salvage where possible
  - Replace damaged, rotted sections with new heart pine wood, match existing members in size, profiles, thickness
  - Frames and sash of the windows which were painted, restore the paint finish using top quality primer and two coats of paint, color to match the first painted surface from the period of significance.
  - Reglaze and replace sash in the frames.



#### Exterior door:

- The exterior doors may be salvaged and repaired.
- One of the exterior door openings will need to be widened for access, the new door should match the five panel design of the other exterior doors.
- Repair and restore casings.

#### **Restoration: Interior Features Treatment Recommendations:**

##### Wall and roof framing:

- Replace balloon frame studs that have been cut off at first floor with new full height salvaged yellow heart-pine material.
- If framing sections are replaced, match size and profile of replaced sections
- Connections of wall to floor and wall to roof framing should be concealed from view. Provide for new stainless rods drilled through rafters into beam at top of wall and from the beam into the vertical frame members.
- The first floor joists were previously strapped to the new beam and foundation system when the structure was moved to this location in 2007. "Sister" any damaged joists and strap to new wood joists to beams.

##### Electrical system:

- A new electrical service should be supplied underground and a site service outlet should be provided in a concealed location.
- Provide new site lighting along the path to the building
- Restore the historic light fixtures on the interior, and provide floor outlets in the northwest room for user group.

##### Interior built in furnishings:

- These features post date the period of significance and will be documented before removal.

#### **Restoration: Site work Recommendations:**

##### New access ramp and deck at north side of building

- Construct new stabilized path, access ramp and deck at north (rear) of building, utilizing the existing footing locations.

#### **Ongoing Preservation and Cyclical Maintenance**

These activities should be included in a cyclical maintenance program that is implemented. See categories below for recommendations on scheduling these tasks.

- Monitoring and scheduled maintenance should be conducted on a cyclical schedule by employees and/or contractors.
  - Educational sessions for employees should be conducted periodically to inform them of the historic features of the building.
  - Contractors working on the site should be similarly informed.
  - Volunteers may be considered for participation in certain activities.
- Maintain water management where needed.
  - Check ground drainage in relation to building foundations.
  - Perform this review at quarterly intervals, and after significant storm events.
- Materials and moisture issues
  - Inspect for build-up of earth and organic matter around the perimeter and maintain separation of wood 6" from ground contact.
  - Monitor sealants for hardening and cracking.
  - Inspect interior for water intrusion and deterioration of materials, such as around roof penetrations, at sills.
  - Perform this review at semi-annual intervals, and after significant storm events.
- Examine walls and roof for movement and deterioration
  - Monitor walls for movement or deterioration and repair or replacement.
  - For re-nailing in historic materials at gable ends or wood frame sections:
    - Use stainless steel nails one size larger than original.
    - Pre-drill to avoid splitting seasoned lumber.
    - Use smooth faced hammer to preserve anticorrosive surface of fasteners (nails)
  - Perform this review at semi-annual intervals, and after significant storm events.
- Prohibit storage of flammable materials in or near historic buildings (always).
- Treat insect infestations and remove nests
  - Annual pest control contracts and visual observations at quarterly intervals.
- Archival material, including drawings of the buildings, should be monitored and preserved.
  - Digital copies should be archived and copied to an external storage.
  - Historic elements and features such as furniture, lighting, tools and doors (if any) should be catalogued and stored safely until it is possible to install them in a secure and visible location.

### **Building Materials Recommendations**

See the product information listings below, (organized by CSI divisions) for recommendations for these materials. Before beginning any project, review code requirements and confirm the availability of materials.

## **Division 6 – Carpentry**

### Finish Carpentry:

Exterior trim and casings, vertical boards and battens, replacement pieces for wood doors and window repairs: Softwood Lumber Trim for stained or painted finish:

1. Clear vertical grain heart pine. Acceptable manufacturers include:  
Salvaged heart pine, Goodwin Lumber Company, Micanopy, Fl.
2. Face Surface: Match texture of existing adjacent board.

### Exterior structural framing and exposed rafters ends:

Pressure treated southern yellow pine

### Wood preservatives, fillers and consolidants:

There are three important criteria in selecting the appropriate treatment material for wood conservation:

- Provide effective protection while minimizing hazards to the environment and the workers utilizing the product
- Find a treatment that is as “reversible” as possible, as there may be future products or techniques that will prove even more effective
- Minimize visual changes in the appearance of the wood

With these criteria in mind, an effective method for preserving wood is the use of low hazard borate based preservatives with an ethylene glycol component. Some available products include:

Boracol 20-02, Sansin Corporation.  
Bora-Care, Nisus Corporation

A water repellent coating will need to be applied on top of the borate to hold it in place, with a mildewcide (Busan 1009R) added into the material.

Other useful and proven products include;

Stainable and prestained fillers, epoxy fillers  
Minwax (800) 523-9299  
[www.minwax.com](http://www.minwax.com)



Epoxy consolidants for wood repairs:

Abatron

*Wood consolidants and epoxy fillers*

(800) 445-1754

[www.abatron.com](http://www.abatron.com)

Wood Care Systems

*Liquid Timber epoxy*

(800) 827-3480

[www.woodcaresystems.com](http://www.woodcaresystems.com)

**Division 7 – Thermal and Moisture Protection**

Roofing materials:

Membrane roof: Two (2) ply SBS Cold Adhesive Applied system for nailable deck. N-1-1-MG by GAF or equal.

Metal roof: 5Vcrimp galvanized metal roof, 24 gage.

Flashing Metals:

Metal: Galvanized metal, finish to match roof metal or for membrane roof painted dark bronze color.

**Division 8 – Openings**

Hardware:

Restore original hardware. Where reproduction hardware is needed, including hinges, knobs, levers handles and escutcheon plates:

Exterior/ Interior finish for all: Oil rubbed bronze finish:

Manufacturers include:

Rejuvenation: [http://www.rejuvenation.com/catalog/hardware\\_and\\_houseparts.html](http://www.rejuvenation.com/catalog/hardware_and_houseparts.html)

Crown City hardware: <http://www.crowncityhardware.com/ie7.html>

**Division 9 – Finishes**

Paint: Premium grade primers and top coats where indicated.

**Division 16 – Electrical (Lighting)**

Lighting:

Repair, rewire and restore the finish on the period light fixtures.

## **CONCEPTUAL DESIGN**

### **Prioritization of Work**

The following is the recommended sequence of work.

1. Structural stabilization work, additional structural supports and ties where indicated for roof and floor framing and exterior walls.
2. Weatherization of the exterior envelope, including wall and gable end siding, roofing, sealants, windows and doors.
3. Exterior restoration work, including accessibility modifications
4. Systems installation, including electrical alterations.
5. Interior restoration work, including interior wall repairs.
6. First floor room finishes
7. Site work: paths, ramps, steps, and lighting
8. Second floor room finishes
9. Restoration of outhouse
10. Recreation of the water tank

### **Restoration Budget**

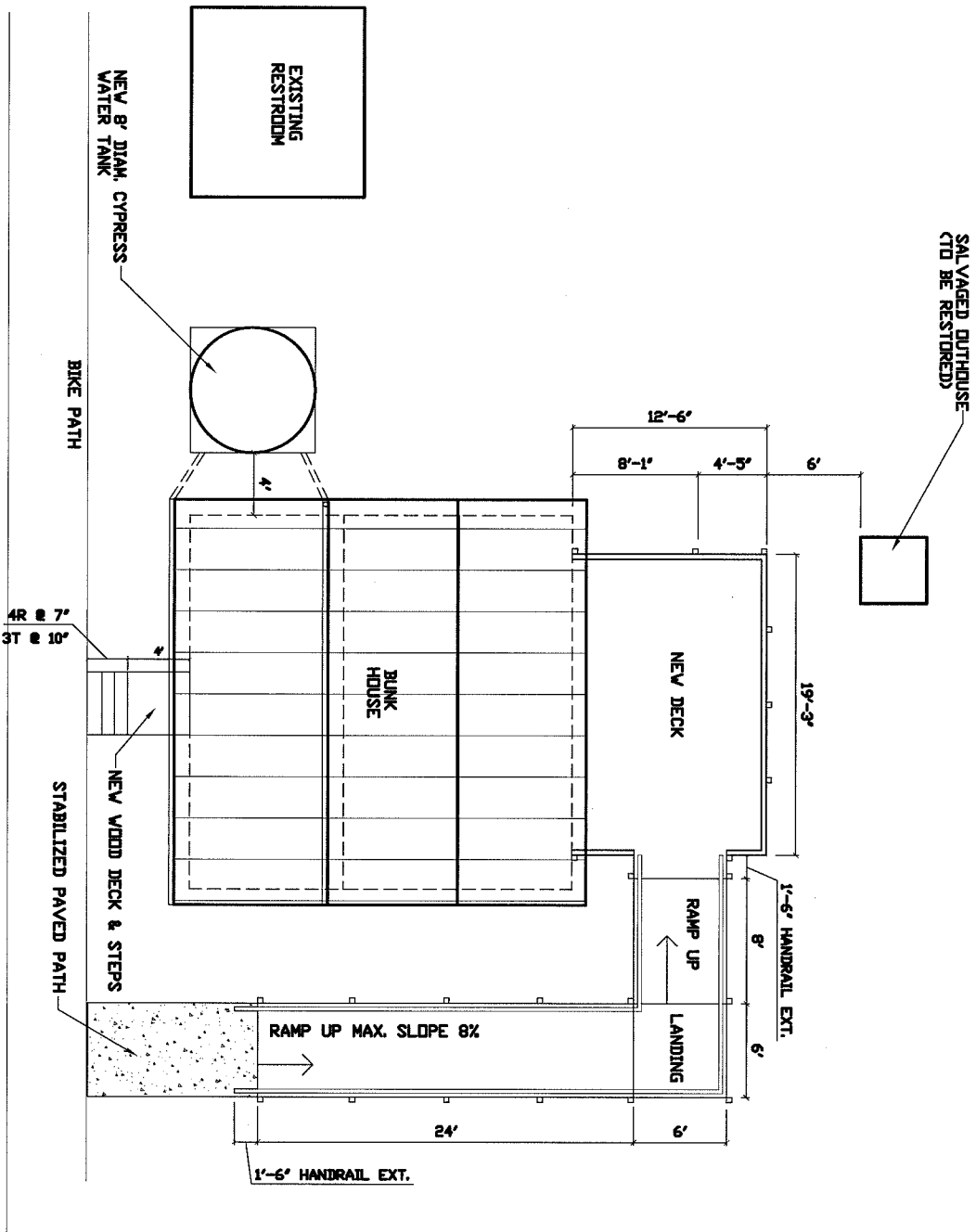
Phase 1 – Stabilization	\$ 28,600
Phase 2 – Restoration	\$209,205

### **Conceptual Design drawings:**

- SP100 Proposed Site Plan
- A100 Conjectural Floor Plan Evolution
- A101 Proposed Floor Plans & Schedules
- A201 Proposed Elevations and Sections

### **Conclusion:**

The “Placida Bunk House” is an architecturally and historically significant building as it is one of few remaining examples of railroad related structures. Preservation and restoration of this structure is viable and readily achievable, as described in this report.



# PROPOSED SITE PLAN

SCALE 1:40



PROJECT:  
RESTORATION PROJECT FOR THE  
**PLACIDA BUNK HOUSE**  
AT CAPE HAZE PIONEER TRAIL PARK  
CHARLOTTE COUNTY, FLORIDA

ARCHITECT:  
**STEVENSON**  
ARCHITECTS  
3417 N. 1st Street  
Tampa, FL 33604  
Tel: 813.247.2500  
Fax: 813.247.2501  
www.stevensonarchitects.com

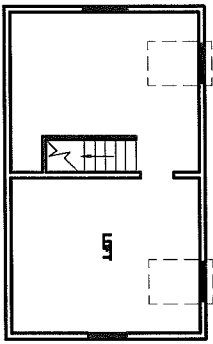
DATE: 07-002

PROPOSED  
SITE PLAN

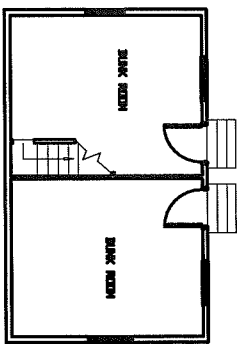
SP100

09/04/08



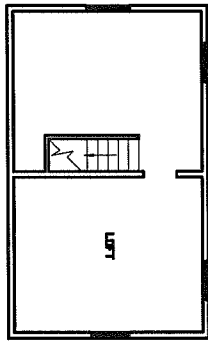


2nd Floor

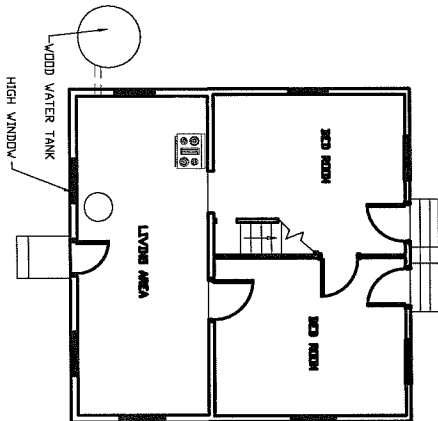


1st Floor

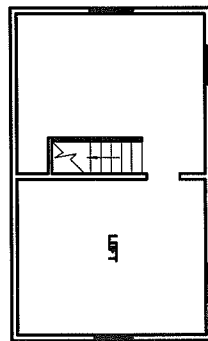
C. 1907 - EARLY 1920s  
RAILROAD BUNK HOUSE



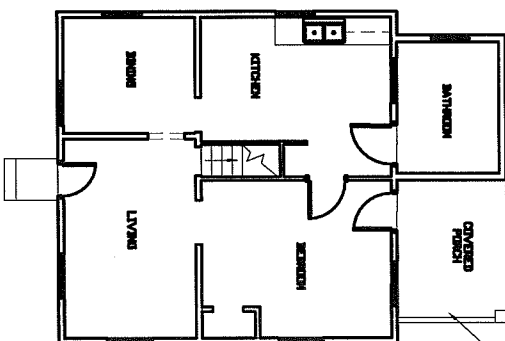
2nd Floor



1920s - EARLY 1950s  
FAMILY RESIDENCE



2nd Floor



LATE 1950s - 2006  
FAMILY RESIDENCE



CONJECTURAL PLAN  
SCALE: 1/4" = 1' - 0"

**STATION**  
ARCHITECTS  
INC.

3400 North 1st Avenue, Suite 100  
Boca Raton, Florida 33431  
Phone: 561-995-1111  
Fax: 561-995-1112  
Website: www.stationarchitects.com

PROJECT: 07-002

DATE: 09/04/08

BY: [Signature]

FOR: [Signature]

NO.	DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	09/04/08
2	PRELIMINARY DESIGN	
3	SCHEMATIC DESIGN	
4	DESIGN DEVELOPMENT	
5	FINAL DESIGN	
6	CONSTRUCTION DOCUMENTS	
7	AS-BUILT DOCUMENTS	

PROJECT: REHABILITATION PROJECT FOR THE  
**PLACIDA BUNK HOUSE**  
AT CAPE HAZE PIONEER TRAIL PARK  
CHARLOTTE COUNTY, FLORIDA

CONJECTURAL  
FLOOR PLAN

DATE: 09/04/08

BY: [Signature]

FOR: [Signature]

PROJECT: 07-002

DATE: 09/04/08

BY: [Signature]

FOR: [Signature]

WALLS		ROOF	
101-0	101-0	101-0	101-0
104	104	104	104
108	108	108	108
112	112	112	112
116	116	116	116
120	120	120	120
124	124	124	124
128	128	128	128
132	132	132	132
136	136	136	136
140	140	140	140
144	144	144	144
148	148	148	148
152	152	152	152
156	156	156	156
160	160	160	160
164	164	164	164
168	168	168	168
172	172	172	172
176	176	176	176
180	180	180	180
184	184	184	184
188	188	188	188
192	192	192	192
196	196	196	196
200	200	200	200
204	204	204	204
208	208	208	208
212	212	212	212
216	216	216	216
220	220	220	220
224	224	224	224
228	228	228	228
232	232	232	232
236	236	236	236
240	240	240	240
244	244	244	244
248	248	248	248
252	252	252	252
256	256	256	256
260	260	260	260
264	264	264	264
268	268	268	268
272	272	272	272
276	276	276	276
280	280	280	280
284	284	284	284
288	288	288	288
292	292	292	292
296	296	296	296
300	300	300	300
304	304	304	304
308	308	308	308
312	312	312	312
316	316	316	316
320	320	320	320
324	324	324	324
328	328	328	328
332	332	332	332
336	336	336	336
340	340	340	340
344	344	344	344
348	348	348	348
352	352	352	352
356	356	356	356
360	360	360	360
364	364	364	364
368	368	368	368
372	372	372	372
376	376	376	376
380	380	380	380
384	384	384	384
388	388	388	388
392	392	392	392
396	396	396	396
400	400	400	400
404	404	404	404
408	408	408	408
412	412	412	412
416	416	416	416
420	420	420	420
424	424	424	424
428	428	428	428
432	432	432	432
436	436	436	436
440	440	440	440
444	444	444	444
448	448	448	448
452	452	452	452
456	456	456	456
460	460	460	460
464	464	464	464
468	468	468	468
472	472	472	472
476			

WALLS		ROOM 8				FLOORING	CEILING	CEILING HT.	NOTES
		NORTH	EAST	SOUTH	WEST				
100-0	101-0	102-0	103-0	104-0	105-0	106-0	107-0	108-0	109-0
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	105	106	107	108	109	110	111	112	113
104	10								

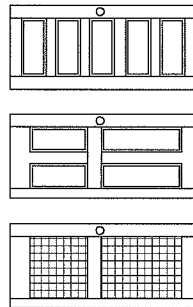
[illegible][illegible]

**GENERAL ABBREVIATIONS**

1. NEW HEART PINE  
2. NEW HEART PINE  
3. NEW HEART PINE  
4. NEW HEART PINE  
5. NEW HEART PINE  
6. NEW HEART PINE  
7. NEW HEART PINE  
8. NEW HEART PINE  
9. NEW HEART PINE  
10. NEW HEART PINE  
11. NEW HEART PINE  
12. NEW HEART PINE  
13. NEW HEART PINE  
14. NEW HEART PINE  
15. NEW HEART PINE  
16. NEW HEART PINE  
17. NEW HEART PINE  
18. NEW HEART PINE  
19. NEW HEART PINE  
20. NEW HEART PINE  
21. NEW HEART PINE  
22. NEW HEART PINE  
23. NEW HEART PINE  
24. NEW HEART PINE  
25. NEW HEART PINE  
26. NEW HEART PINE  
27. NEW HEART PINE  
28. NEW HEART PINE  
29. NEW HEART PINE  
30. NEW HEART PINE  
31. NEW HEART PINE  
32. NEW HEART PINE  
33. NEW HEART PINE  
34. NEW HEART PINE  
35. NEW HEART PINE  
36. NEW HEART PINE  
37. NEW HEART PINE  
38. NEW HEART PINE  
39. NEW HEART PINE  
40. NEW HEART PINE  
41. NEW HEART PINE  
42. NEW HEART PINE  
43. NEW HEART PINE  
44. NEW HEART PINE  
45. NEW HEART PINE  
46. NEW HEART PINE  
47. NEW HEART PINE  
48. NEW HEART PINE  
49. NEW HEART PINE  
50. NEW HEART PINE  
51. NEW HEART PINE  
52. NEW HEART PINE  
53. NEW HEART PINE  
54. NEW HEART PINE  
55. NEW HEART PINE  
56. NEW HEART PINE  
57. NEW HEART PINE  
58. NEW HEART PINE  
59. NEW HEART PINE  
60. NEW HEART PINE  
61. NEW HEART PINE  
62. NEW HEART PINE  
63. NEW HEART PINE  
64. NEW HEART PINE  
65. NEW HEART PINE  
66. NEW HEART PINE  
67. NEW HEART PINE  
68. NEW HEART PINE  
69. NEW HEART PINE  
70. NEW HEART PINE  
71. NEW HEART PINE  
72. NEW HEART PINE  
73. NEW HEART PINE  
74. NEW HEART PINE  
75. NEW HEART PINE  
76. NEW HEART PINE  
77. NEW HEART PINE  
78. NEW HEART PINE  
79. NEW HEART PINE  
80. NEW HEART PINE  
81. NEW HEART PINE  
82. NEW HEART PINE  
83. NEW HEART PINE  
84. NEW HEART PINE  
85. NEW HEART PINE  
86. NEW HEART PINE  
87. NEW HEART PINE  
88. NEW HEART PINE  
89. NEW HEART PINE  
90. NEW HEART PINE  
91. NEW HEART PINE  
92. NEW HEART PINE  
93. NEW HEART PINE  
94. NEW HEART PINE  
95. NEW HEART PINE  
96. NEW HEART PINE  
97. NEW HEART PINE  
98. NEW HEART PINE  
99. NEW HEART PINE  
100. NEW HEART PINE

[illegible]

**SCALE 1/2" = 1' - 0"**



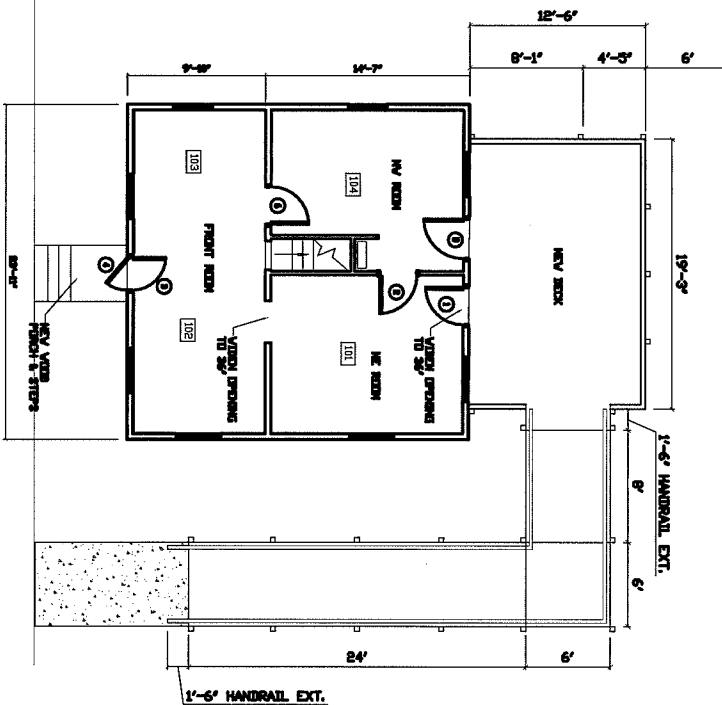
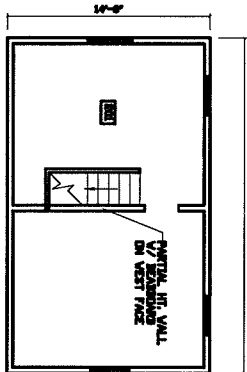
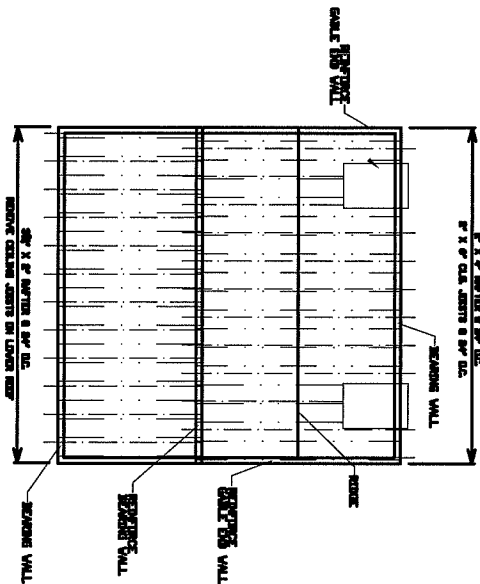
SCALE: 1/4" = 1' - 0"

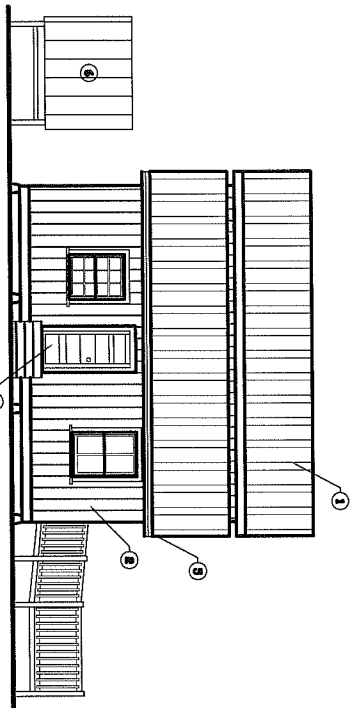


**SCALE: 1/4" = 1' - 0"**

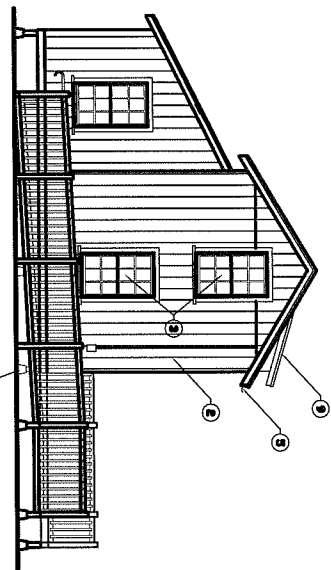


SCALE: 1/4" = 1' - 0"

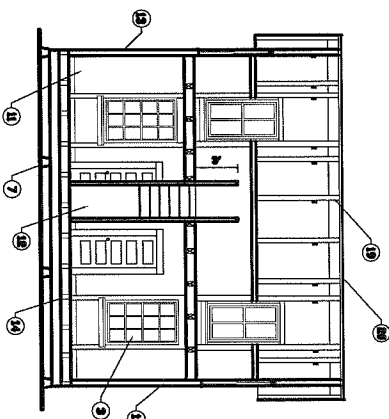




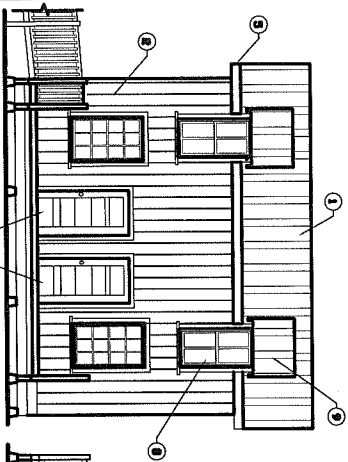
**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



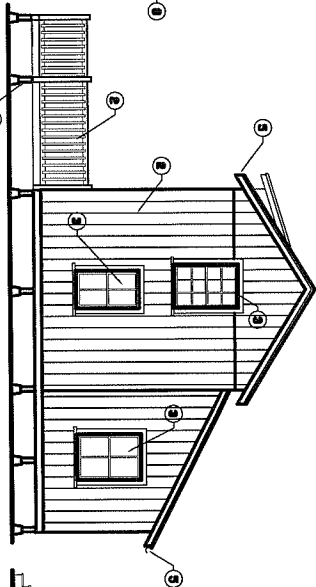
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



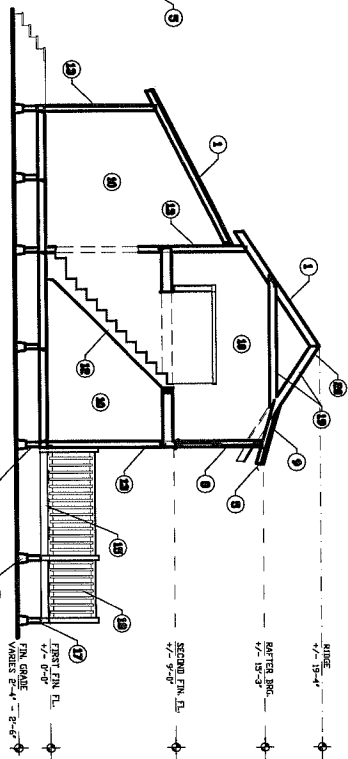
**SECTION A-A**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SECTION B-B**  
SCALE: 1/4" = 1'-0"

- PROPOSED ELEVATION KEY NOTES:**
1. METAL ROOF V/ GALV. METAL JOIST EDGE
  2. RESTORED WOOD SHED & WATER SCUMS
  3. RESTORED WOOD SHED & WATER SCUMS
  4. RESTORED WOOD SHED & WATER SCUMS
  5. NEW WOOD FASCIA & METAL GUTTERS
  6. RESTORED WOOD SHED & WATER SCUMS
  7. RESTORED WOOD SHED & WATER SCUMS
  8. RESTORED WOOD SHED & WATER SCUMS
  9. RESTORED WOOD SHED & WATER SCUMS
  10. RESTORED WOOD SHED & WATER SCUMS
  11. REMOVE MODERN INTERIOR FINISH
  12. REMOVE MODERN INTERIOR FINISH
  13. RESTORE PAINTED FRAME STUD WALLS
  14. REMOVE DAMAGED FLOOR JOISTS
  15. NEW WOOD SHED & WATER SCUMS
  16. NEW WOOD SHED & WATER SCUMS
  17. NEW WOOD SHED & WATER SCUMS
  18. NEW WOOD SHED & WATER SCUMS
  19. NEW WOOD SHED & WATER SCUMS
  20. RESTORE WOOD SHED & WATER SCUMS

# **ELEVATIONS** SCALE: 1/4" = 1'-0"



<p>PROJECT: RESTORATION PROJECT FOR THE <b>PLACIDA BUNK HOUSE</b> AT CAPE HAZE PIONEER TRAIL PARK CHARLOTTE COUNTY, FLORIDA</p>		<p>DATE: 07-2022</p>		<p>ARCHITECT: STEVENS 10000 N. W. 10th Avenue, Suite 100 Fort Lauderdale, FL 33309 Phone: 754.777.2500 Fax: 754.777.2501 Email: info@stevensarchitects.com</p>	
<p>PROPOSED ELEVATIONS &amp; SECTIONS</p>		<p>SCALE: 1/4" = 1'-0"</p>		<p>DATE: 09/04/08</p>	



#### **IV. APPENDICES**

---

- A. Historical Information and Oral Histories**
- B. References & Sources**
- C. Paint analysis report**

## **A. Historical Information and Oral Histories**

Interview with Mr. Robert Goff on August 26, 2008, 10am, at the Placida Bunk House, notes by Linda Stevenson.

### **Background:**

Mr. Goff's (Bob) family lived in the Placida Bunk House. He joined the U.S. Army in 1948. We met at the new location of the building in the Cape Haze Pioneer Trail Park. The purpose was to provide information on the appearance, materials and finishes that Mr. Goff remembered from the 1940s and early 1950s.

### **Exterior Notes**

- The roof material is correct now, with the sheets of asphalt-based roll roofing lapped across the roof.
- During the 1940s the house was painted "railroad yellow". Both the vertical boards and the covering battens were painted this shade of yellow.
- The exterior white paint post dates the Goff Family occupancy. John Bass acquired the house from the railroad by bidding \$50 for it.
- The house was originally built closer to the ground, raised up on concrete piers. Bob remembers the 1944 hurricane that caused some damage to the house where the structure was twisted from the wind force.
- The front façade layout from left to right included: a small high window (not sure if it was operable), a front door with an out-swinging screen door and a double-hung window on the right side. This configuration matches the old photograph with Bob's young sister on the porch, previously provided to Charlotte County.
- There was a front porch about 5 feet by 5 feet in size. The roof overhang was added after 1950.
- Electricity was installed late in the year 1950, at a cost of \$150, Bob remembers paying for it. There were 6 lights, porcelain sockets with pull chains, and two interior wall outlets.
- The electrical service came in overhead and the fuse box was on the outside of what is now the east wall towards the rear of the house.
- The porch outside light was added later.
- The wooden water tank (cistern) was about 8 feet in diameter, with metal tie rods and top was taller than the lower house eave. The tank was never cleaned there was a type of moss that grew inside that purified the water.
- There was a gutter across the front that ran into the tank. A pipe in the lower portion of the house fed a faucet in the front room's side wall. There was also a gutter across the rear that turned across the west façade (modern orientation).
- The rear elevation had the same layout, left to right; a window, a door with a screen door, a door without a screen door and a window on the first floor.
- The back porch and bathroom addition came after 1950 as well. (These have been since removed from the structure).

## Interior Notes

- The main interior finishes were the wood floor, walls were mostly exposed studs with a wall paper (black building paper) covering the studs and exposed ceiling joists and rafters.
- Bob confirmed with his brother that there was 1 x 6 casing on the door and window frames that was taken out and reinstalled when paneling was put on the walls later on.

### Northeast room:

- Northeast room – entered by the left rear door was the parents' bedroom.
- The closet was from a later period (post 1950s)

### Front room

- The front room was one space (the dividing wall was added later)
- This room had seats and benches in it on the (current) east side facing west when there were religious services
- The kitchen table had the long side running east to west and was positioned about where the modern dividing wall is placed.
- There was stove against the opening into the northwest room.
- There was a round coal stove next to the faucet.
- The wood floorboards in front of the openings between the northeast room and the front room could be removed to sweep any dust out of the house
- A water pipe came into the room on the west side and there was a faucet there. There was also a shelf with a wash basin on the south side of the west half of the space.
- The wood floor was scrubbed with a mix of lye, soap and water. The west part of the floor was replaced during the Goff family's time in the house.
- The north wall had the board covering and the batten strips all the way down. (These were later cut off when paneling was put on walls (post –Goff family).

### Northwest room

- This was Bob's sister's (Nellie) room. There was an opening into the east room (no door- a curtain provided privacy) and an opening onto the stair "landing". Boards across the stair opening to keep babies from crawling upstairs
- Only closet in the house was the one under the stairs with wood "beadboard" on the east wall, and wood tongue and groove on the west wall facing into the stairwell.
- The kitchen cabinets in this room are a later alteration to this space (post Goff family)



### Second floor

- No interior finishes on the ceiling framing or the exterior walls. The material that is there now came much later.
- Stair had the wall on the right side going up to a half wall only on the second floor and only a railing on the left side

Site layout at the house's original location:

- Water tank, (Cistern on the side).
- A garage on the side of the water tank at back of house
- A chicken yard out the back door

The "two-holer" privy was located a distance away from the house at the back of the property.

## **B. References & Sources**

### **Historical information, forms and data:**

Historic Property Associates  
FSF file #8CH00417, 8/01/89

*Placida Bunk House* Preliminary Site Information Questionnaire for the National Register of Historic Places, Florida Bureau of Historic Preservation, January 7, 1997.

*Placida Bunk House*. Fact Sheet developed by Charlotte County Historical Center  
August 2, 2007.

Text from Charlotte County Historic Marker placed on site by Charlotte County Historical Center.

### **Articles:**

Goff , Gladys. "Now they tell me". Manuscript.. Article in the *Sarasota Herald Tribune*  
August 3, 1992.

Harris, Diane. "Betty Futch Macguire – growing up at the Crossing". *Englewood Sun-Herald*. Saturday January 14, 1995,

"Betty Futch Macguire remembers the hobos of Placida". *Englewood Sun-Herald*. May 31, 1995.

"Clara Futch. We lived in the old railroad house". *Englewood Sun Herald*,  
Wednesday June 28, 1995, pp.8-9.

Williams, Lindsay. "Our fascinating past". December 1, 1996.

### **Drawings and documents**

Foundation Design for the Bunk House, prepared by GWE - Giffels Webster Engineers Inc.,  
6 pages, drawing date 4/5/05.

Placida Fishing Pier conceptual plan. Charlotte County Parks, Recreation and Cultural Resources, drawing dated July 6, 2004.

Bunk House Conceptual Site Plan, Cape Haze Pioneer Trail North Trailhead, Charlotte County Parks, Recreation and Cultural Resources, drawing dated 6/16/2006.

### Historical information for Placida and railroad history:

*Charlotte Harbor and Northern Railway Depot*. National Register of Historic Places Inventory – Nomination Form. Florida Division of Archives, History and Records Management. Form date 7/20/1979.

Hensley, Donald R. *Charlotte Harbor and Northern Railway The Boca Grande Route Part II*, in Tap Lines, Shortline & Industrial Railroading in Florida and Georgia, revised 03/30/2007 with suggestions from Thomas Fetters. <http://www.taplines.net/0307/chn02.html> (accessed August 2008)

Parker, Karen S. "Depot was hub around which town revolved." *Boca Beacon*, August 2, 1996, p.3.

### General Documents and Technical Information:

National Park Service. *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*. Washington, D.C.: 1995.

<http://www.nps.gov/history/hps/tps/standguide> (2008).

**Preservation Briefs series.** Technical Preservation Services, National Park Service.

Preservation Brief 9 *The Repair of Historic Wooden Windows*. John H. Myers. Washington, D.C., 1981. Web version: <http://www.nps.gov/history/HPS/tps/briefs/brief09.htm>

Preservation Briefs 10. *Exterior Paint Problems on Historic Woodwork*. Kay D. Weeks and David W. Look AIA. Washington D.C., 1982. Web version: <http://www.nps.gov/history/hps/tps/briefs/brief10.htm>

Preservation Brief 32. *Making Historic Properties Accessible*, Thomas C. Jesetr and Sharon C. Park, AIA. Washington, D.C., 1993. Web version <http://www.nps.gov/history/hps/tps/briefs/brief32.htm>

Preservation Brief 39. *Holding the Line. Controlling Unwanted Moisture in Historic Buildings*. Sharon C. Park, AIA. Washington, D.C. 1996. Web version: <http://www.nps.gov/history/HPS/tps/briefs/brief39.htm>

